

LAND DISTRICT NORTH OF RED RIVER
OUACHITA PARISH, LOUISIANA

SAM'S CLUB 1-20 EAST
RESUBDIVISION
(PLAT BOOK 23, PAGE 166)

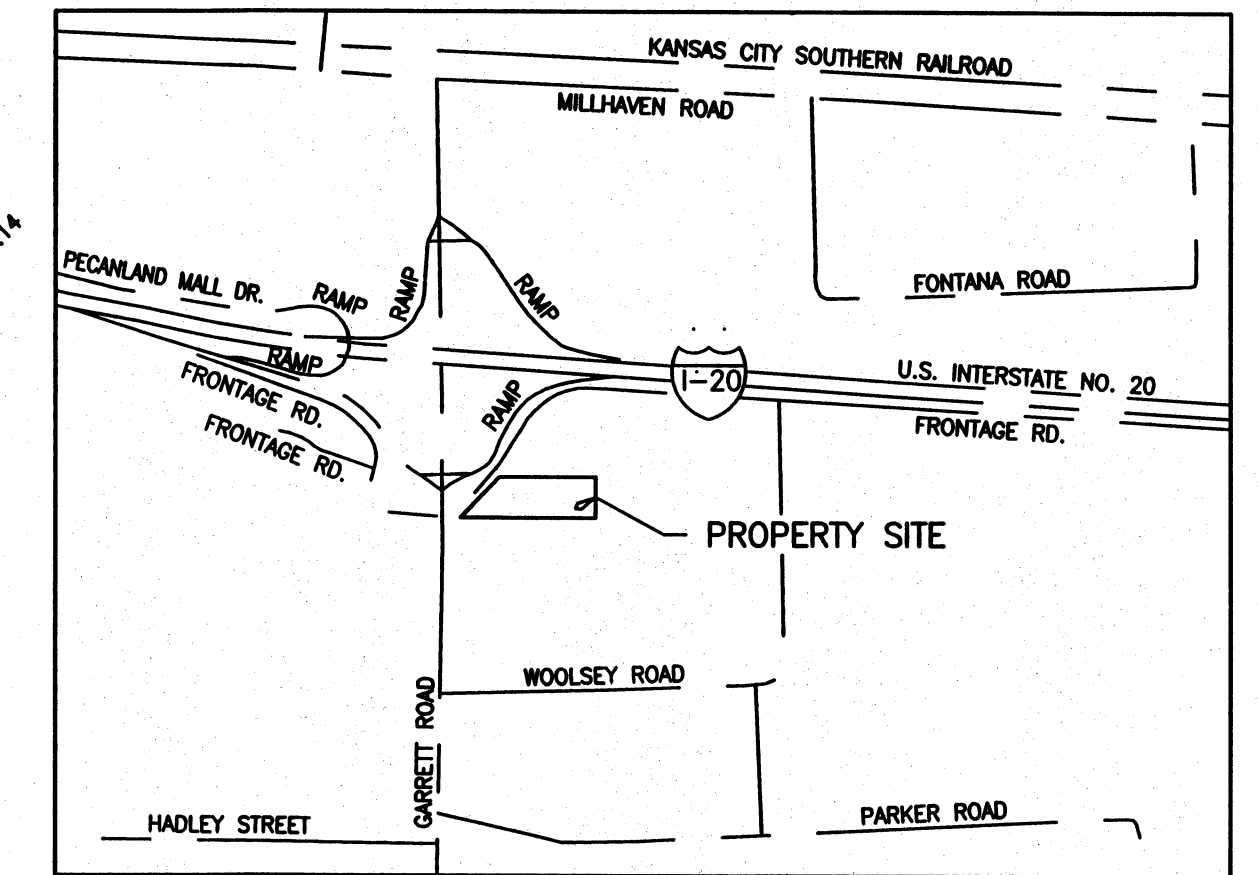
LOT 2
(1.18± ACRES)

LOT 3
(1.66± ACRES)

LOT 1
SAM'S REAL ESTATE BUSINESS TRUST
(SAM'S WHOLESALE CLUB)
(5400 FRONTAGE ROAD, MONROE, LA. 71202)

WATERS EDGE

LOT 1
(NOW OR FORMERLY)
PROPERTY OF
SAM'S REAL ESTATE BUSINESS TRUST
(SAM'S WHOLESALE CLUB)
(5400 FRONTAGE ROAD, MONROE, LA. 71202)



SURVEY NOTES

- LEGEND
 - - MONUMENTATION FOUND AS NOTED
 - - MONUMENTATION SET AS NOTED (5/8" I.R.)
 - △ - COTTON PICKER SPINDLE
 - - SURVEY POINT NOT MONUMENTED
 - P.O.B. - POINT OF BEGINNING
 - (C) - DATA FROM RECORD PLAT OR DESCRIPTION
 - (F) - DATA FOUND BY THIS SURVEY
 - MH ○ - MANHOLE
 - EB □ - ELECTRICAL BOX
 - PP * - POWER POLE
 - LP * - LIGHT POLE
 - GV ⊗ - GAS VALVE
 - - WATER LINE
 - - SEWER LINE
 - - GAS LINE
 - - FIBER OPTIC LINE
 - - TELEPHONE LINE
- REFERENCED PLAT(S) OF RECORD

SAM'S CLUB 1-20 EAST RESUBDIVISION situated in Section 3, T 17 N, R 4 E, Monroe, Ouachita Parish, Louisiana. By THOMAS C. DAVID, JR., P.L.S. # 4539. Dated July 8, 2009. Recorded in Plat Book 23, Page 166 of the Records of Ouachita Parish, Louisiana.
- Survey bearings are referenced to the bearings established by THOMAS C. DAVID, JR., P.L.S. # 4539, between found monumentation. [S89°49'04"W]
- No Title Research was performed for the Existing Rights-of-Way, Easements and/or Servitudes of Record that may affect this Property.

CLIENT: NASH PATEL

Plat of Survey
LOT 3
SAM'S CLUB 1-20 EAST
RESUBDIVISION

Situated in the
SECTION 3
T 17 N, R 4 E
MONROE, OUACHITA PARISH, LOUISIANA

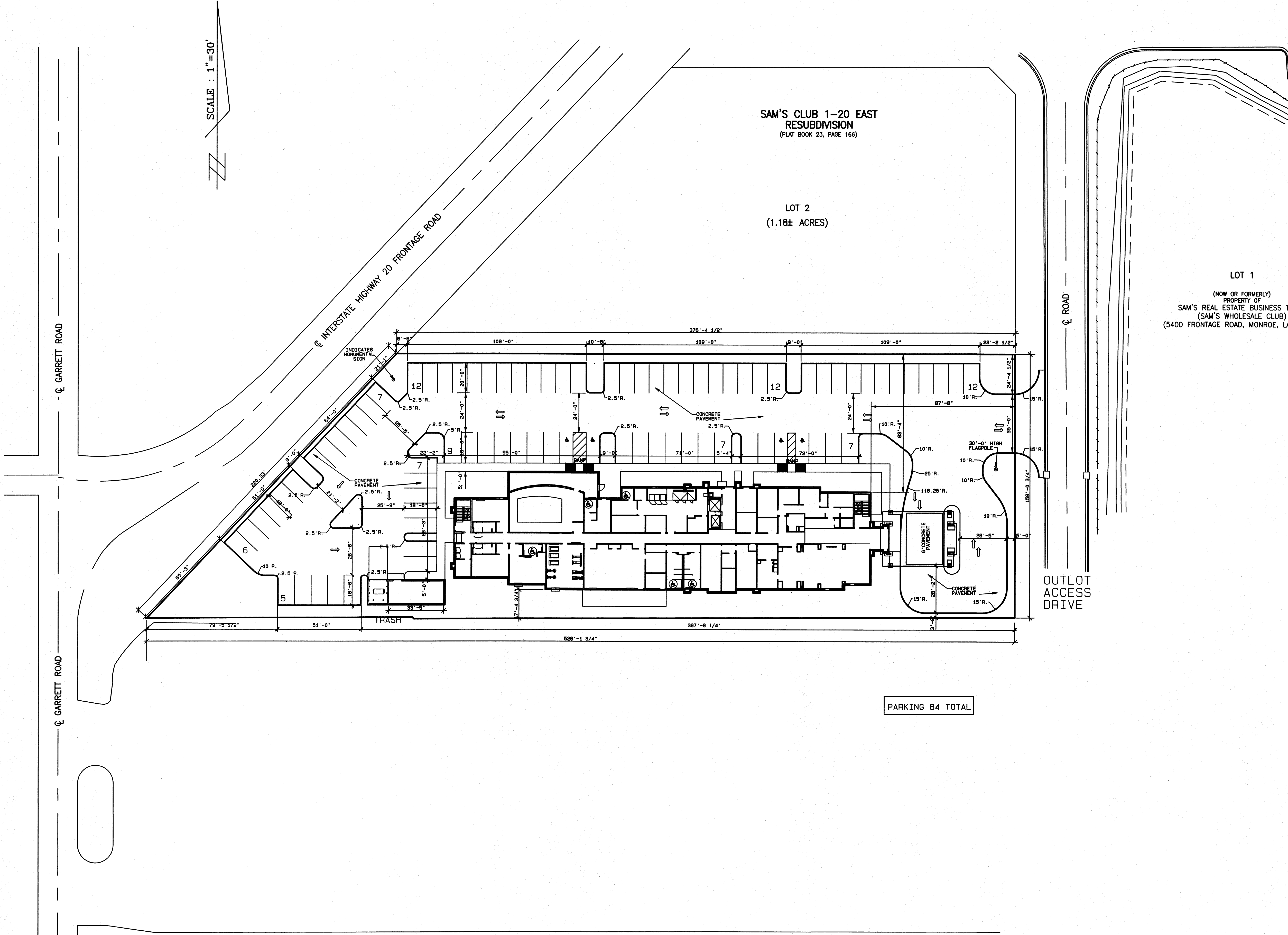
JAMES W. BRASWELL & ASSOCIATES, LTD.
Consulting Engineers & Land Surveyors
P.O. BOX 7511 (1005 N. 4th Street)
Monroe, Louisiana 71211 (71201)

DATE: 01/25/12	DRAWN BY: RSH	Dwg. No.
SCALE: 1"=30'	CHECKED BY: JWB	11-3353

CERTIFICATION

This is to certify that the survey depicted hereon is in accordance with the applicable standards of practice as stipulated in Chapter 25 of Title 46, State of Louisiana Professional & Occupational Standards, part LXI, Professional Engineers and Surveyors, subpart 1, Based on a current CLASS B survey classification.

JON W. BRASWELL, PLS No. 4858



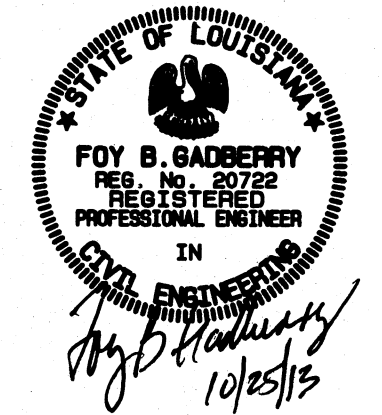
SCALE : 1"=30'

SAM'S CLUB 1-20 EAST
RESUBDIVISION
(PLAT BOOK 23, PAGE 166)

LOT 2
(1.18± ACRES)

LOT 1
(NOW OR FORMERLY)
PROPERTY OF
SAM'S REAL ESTATE BUSINESS TRUST
(SAM'S WHOLESALE CLUB)
(5400 FRONTAGE ROAD, MONROE, LA. 71202)

PARKING 84 TOTAL



SITE PLAN

DATE
9-12-13

C002

JOB No 130412

SOUTHERN HOSPITALITY SERVICES

MONROE, LA.

HAMPTON INN & SUITES

DAVID LANE BEAIRD
& ASSOCIATES, INC
CIVIL & STRUCTURAL ENGINEERS PLANNING PROJECT MANAGEMENT
105 COMMERCIAL PARKWAY, WEST MONROE, LOUISIANA 71291 (518) 388-3227
email: beaird@dlbengineering.com



FLOOD ZONE DATA

1. PROPERTY IS LOCATED IN FLOOD ZONE 'X' SHADED (AREAS OF 500 YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1') ACCORDING TO PANEL 75, 22073C0075E, DATED MARCH 15, 1994.
2. THE PROPERTY LOCATED ADJACENT TO THE SOUTH WEST END OF THIS PROPERTY IS SHOWN TO BE ELEV. 67 MSL. ON PANEL 75, 22073C0075E, DATED MARCH 15, 1994.
3. FINISH FLOOR ELEVATION OF THE BUILDING IS 71.50 MSL.

LEGEND

68.71 EXISTING GRADE
(70.00) FINISH GRADE

GRADING PLAN

MONROE, LA.

SOUTHERN HOSPITALITY SERVICES

HAMPTON INN & SUITES

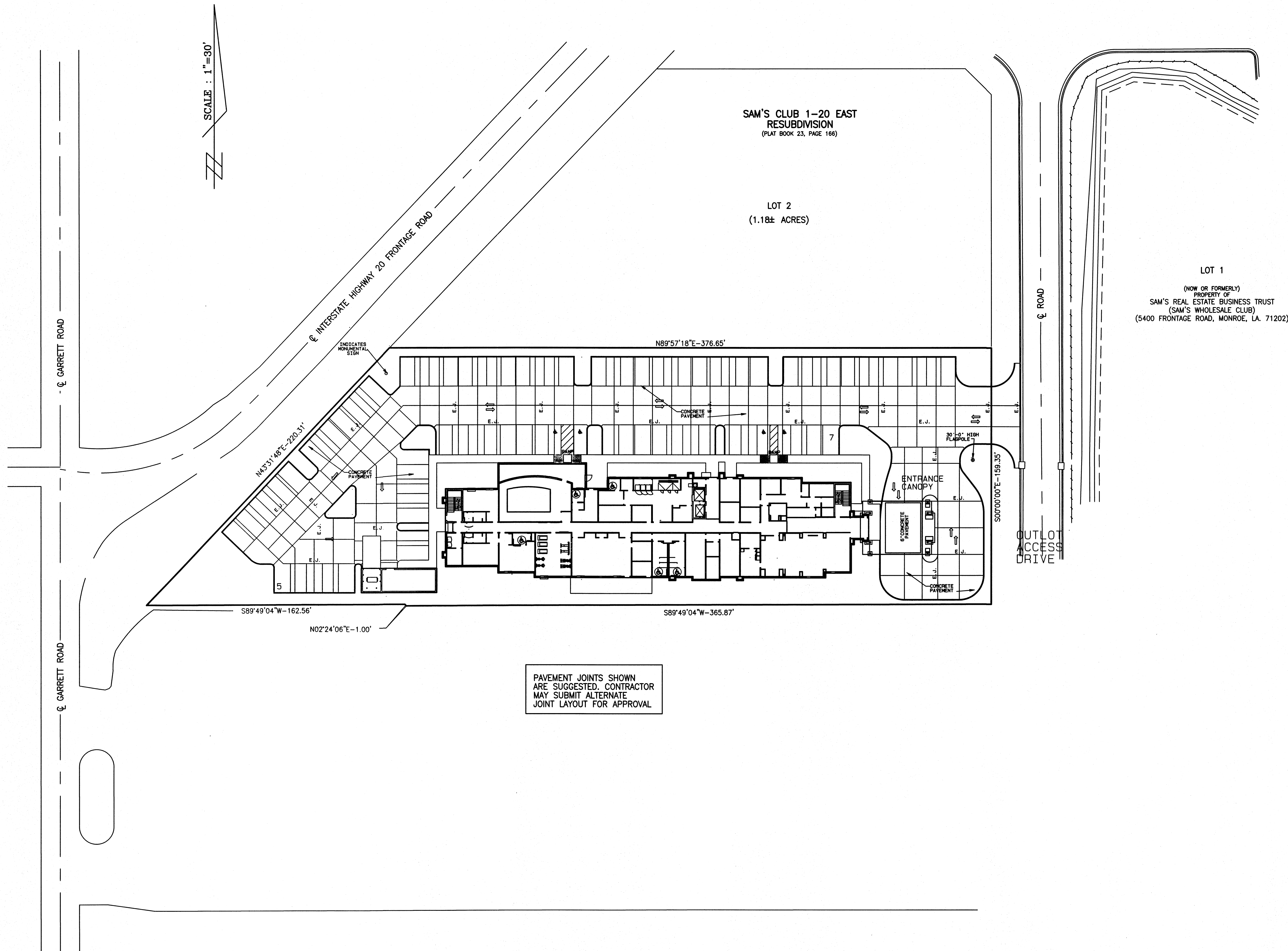
DAVID LANE BEAIRD
& ASSOCIATES, INC

CIVIL & STRUCTURAL ENGINEERS PLANNING PROJECT MANAGEMENT
105 COMMERCIAL PARKWAY, WEST MONROE, LOUISIANA 71291 (318) 388-3227
email: lbccard@dlbengineering.com

JOB No 130412

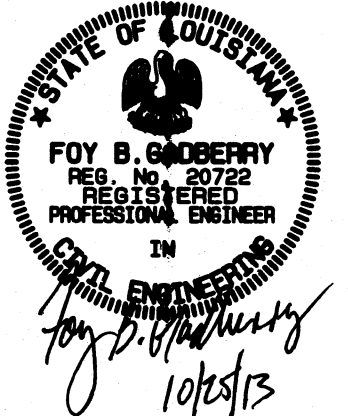
DATE:
9-12-13

C003



SCALE : 1"=30'

PAVEMENT JOINTS SHOWN
ARE SUGGESTED. CONTRACTOR
MAY SUBMIT ALTERNATE
JOINT LAYOUT FOR APPROVAL



JOINT LAYOUT

DATE
9-12-13

C004

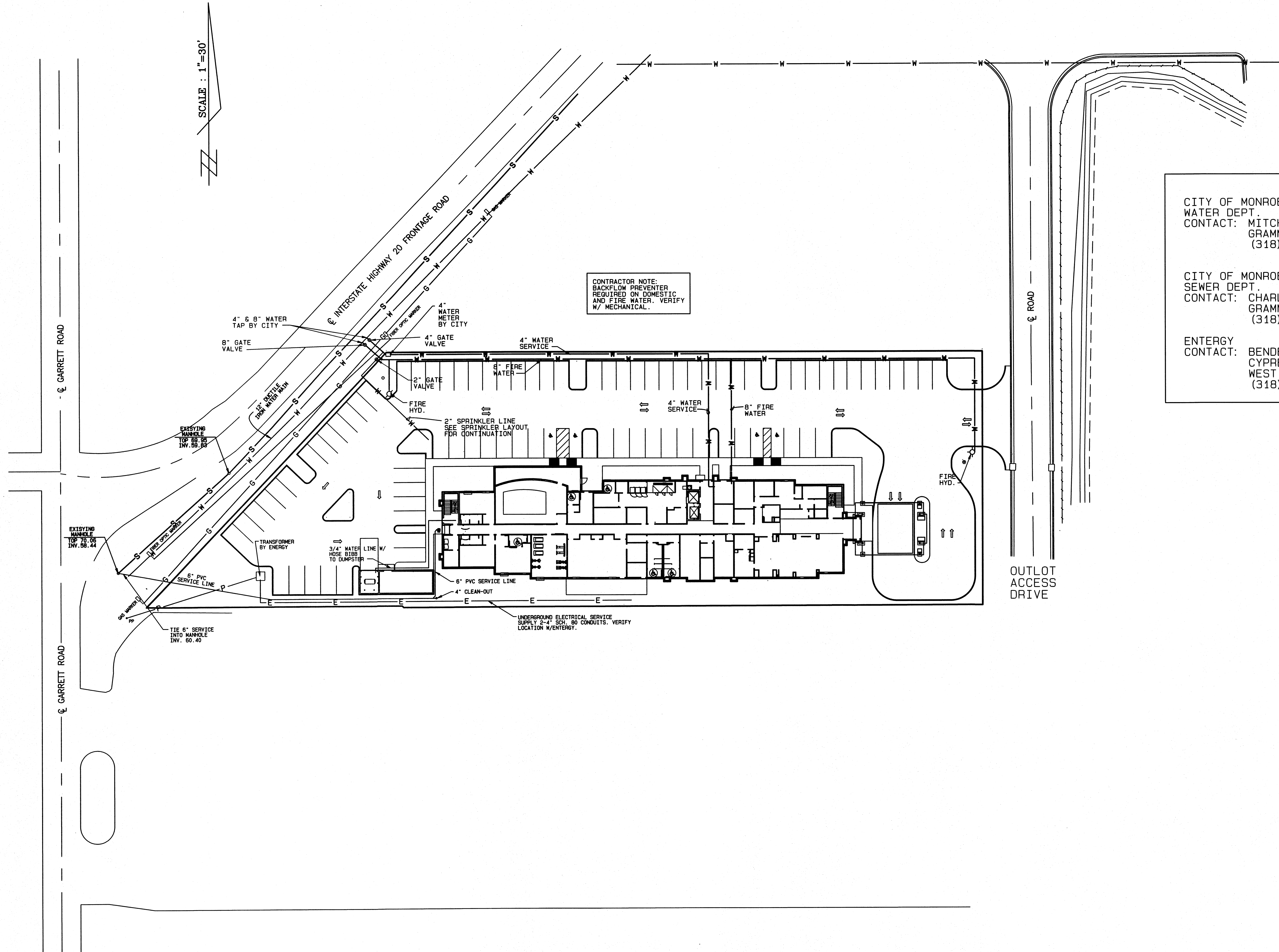
JOB No. 130412

SOUTHERN HOSPITALITY SERVICES

MONROE, LA.

HAMPTON INN & SUITES

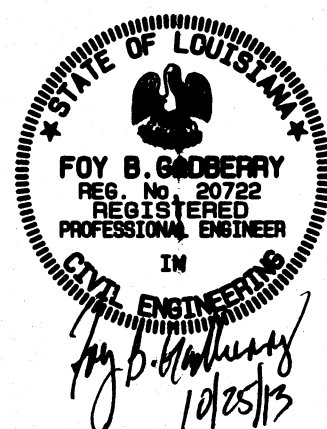
DAVID LANE BEAIRD
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CIVIL & STRUCTURAL ENGINEERS PLANNING PROJECT MANAGEMENT
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email: beaird@dlbeaird.com



CITY OF MONROE
WATER DEPT.
CONTACT: MITCH ACREE
GRAMMONT STREET
(318) 329-2385

CITY OF MONROE
SEWER DEPT.
CONTACT: CHARLES WESTROM
GRAMMONT STREET
(318) 329-2392

ENTERGY
CONTACT: BENDEL CARR
CYPRESS STREET
WEST MONROE
(318) 355-4680



UTILITY PLAN

DATE:
9-12-13

C005

JOB No 130412

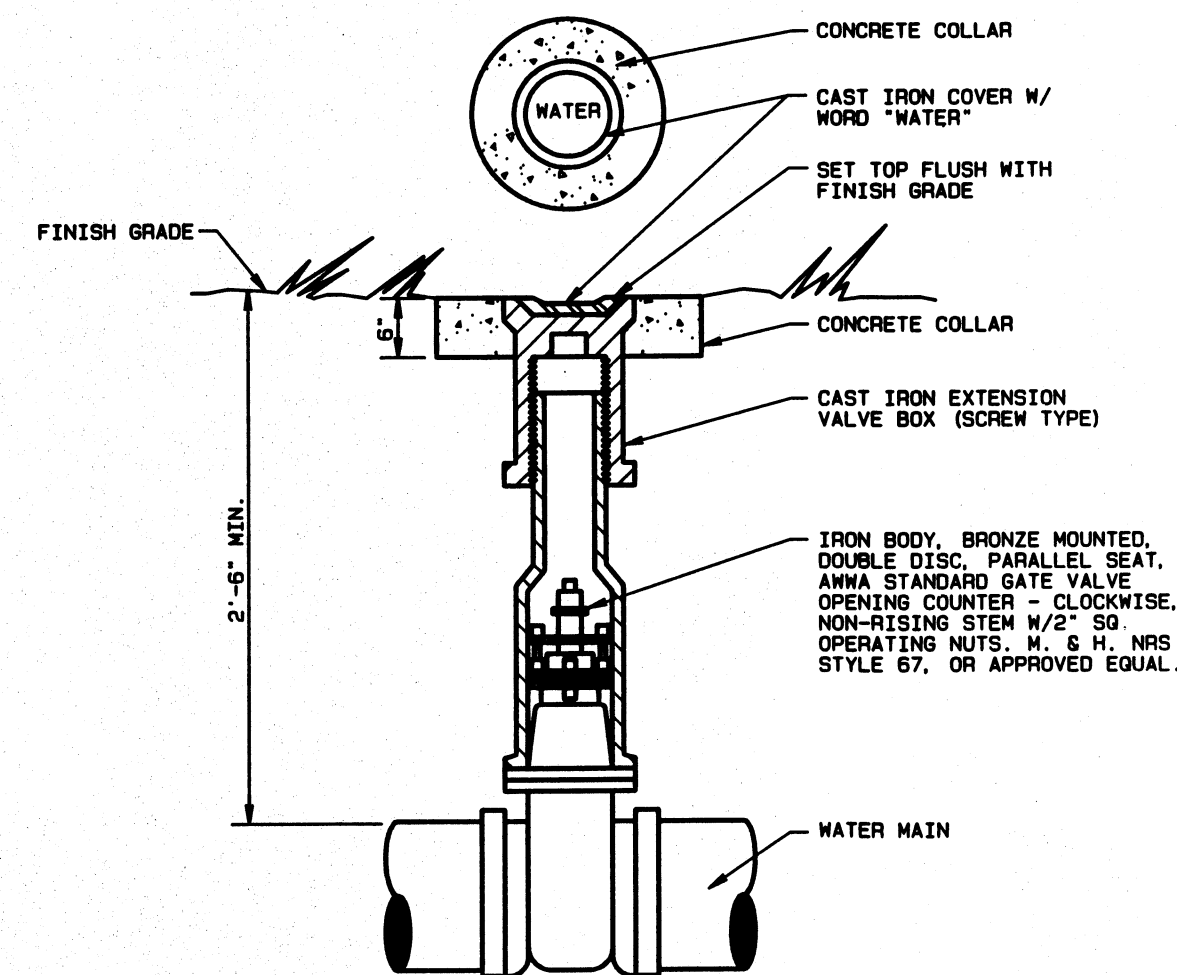
SOUTHERN HOSPITALITY SERVICES

MONROE, LA.

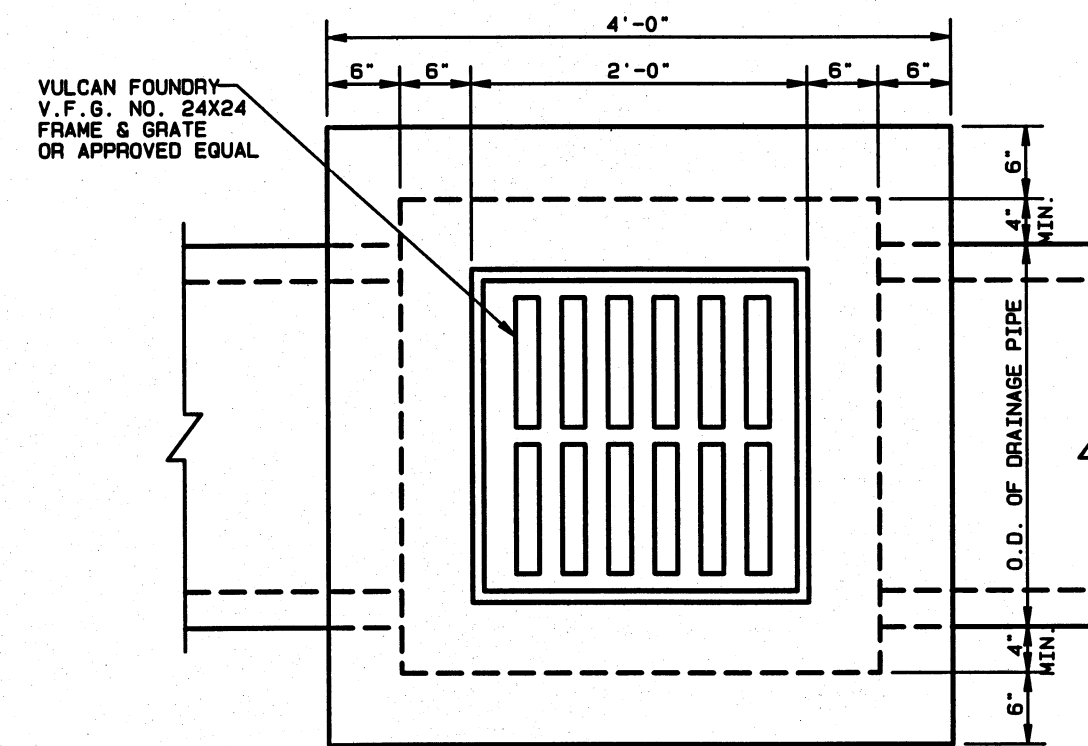
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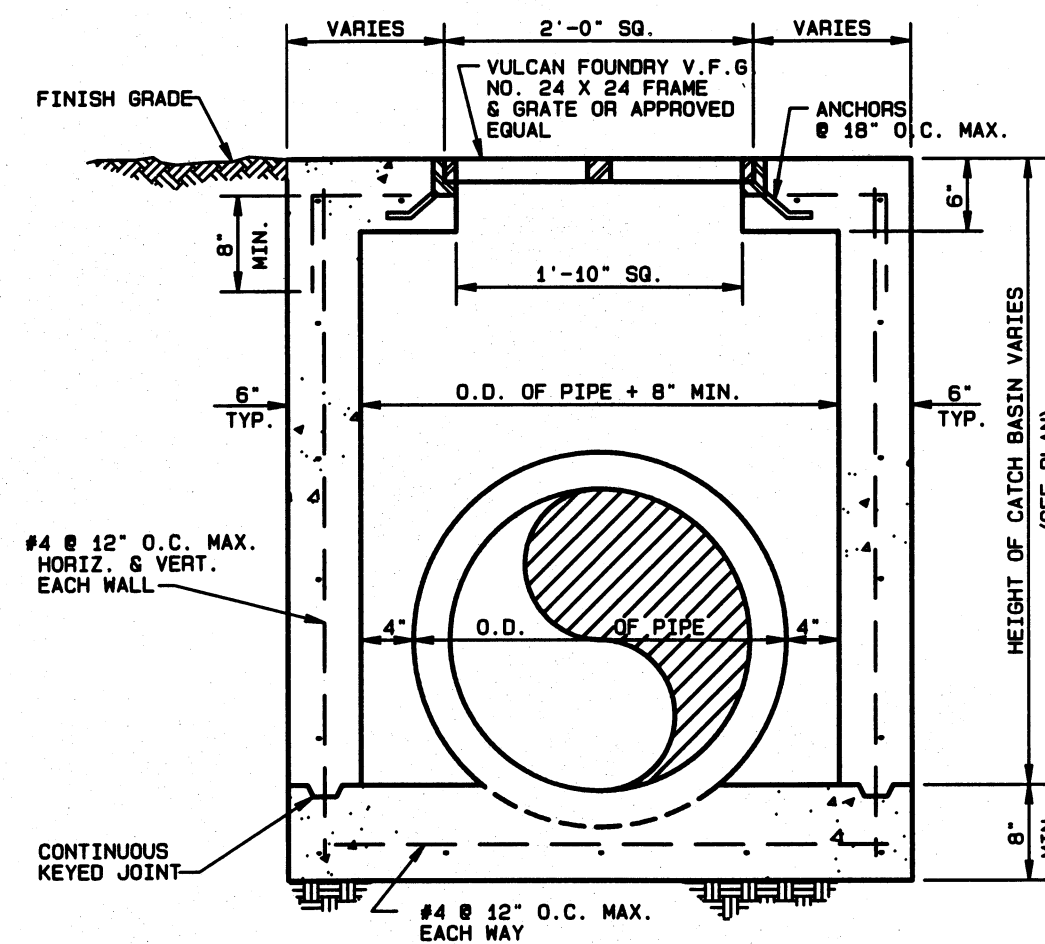
HAMPTON INN & SUITES



TYP. GATE VALVE & BOX

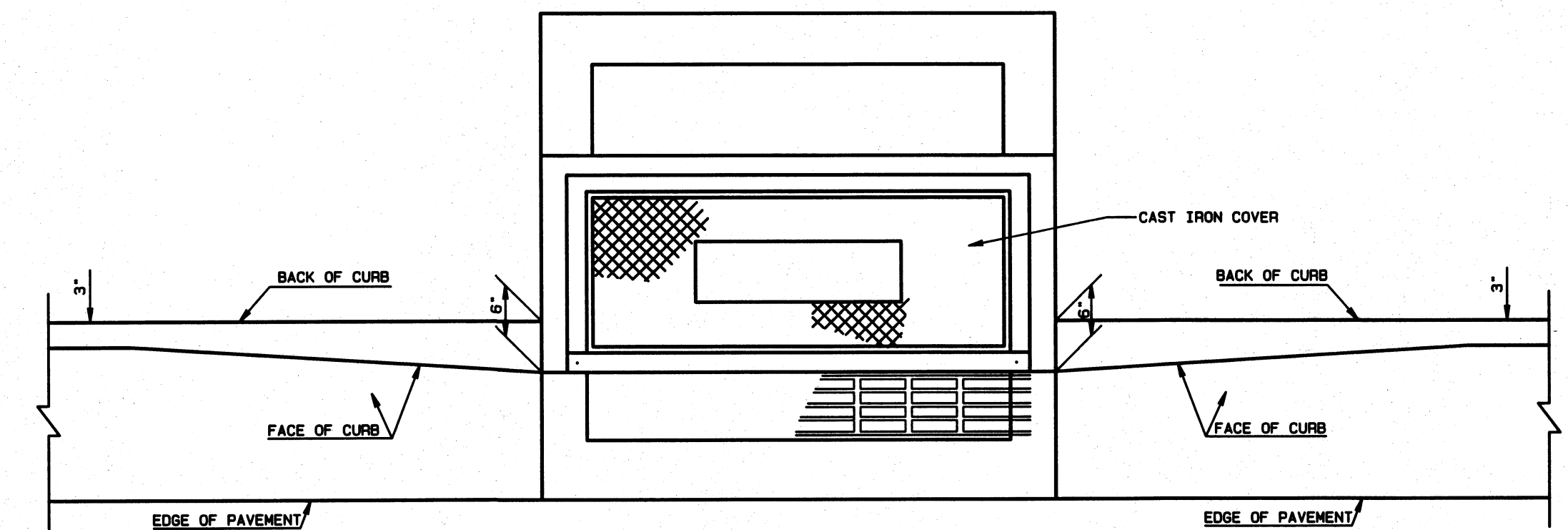


PLAN

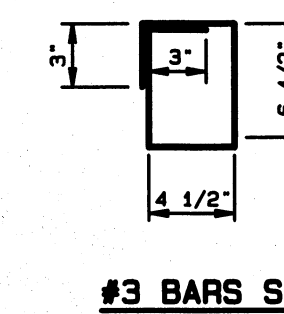


SECTION

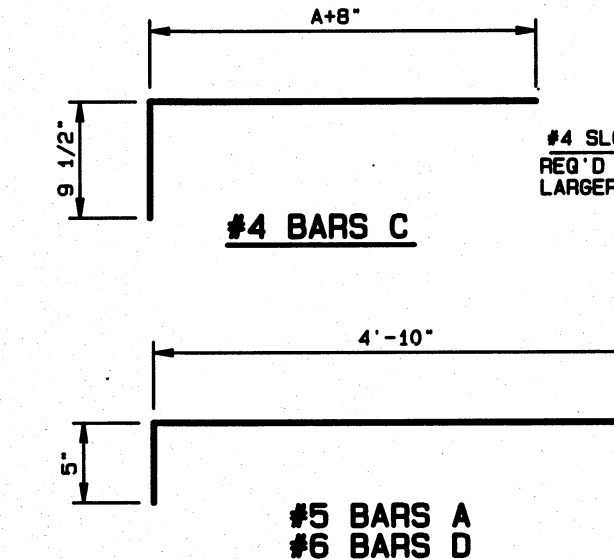
AREA CATCH BASIN



PLAN (CB-07)

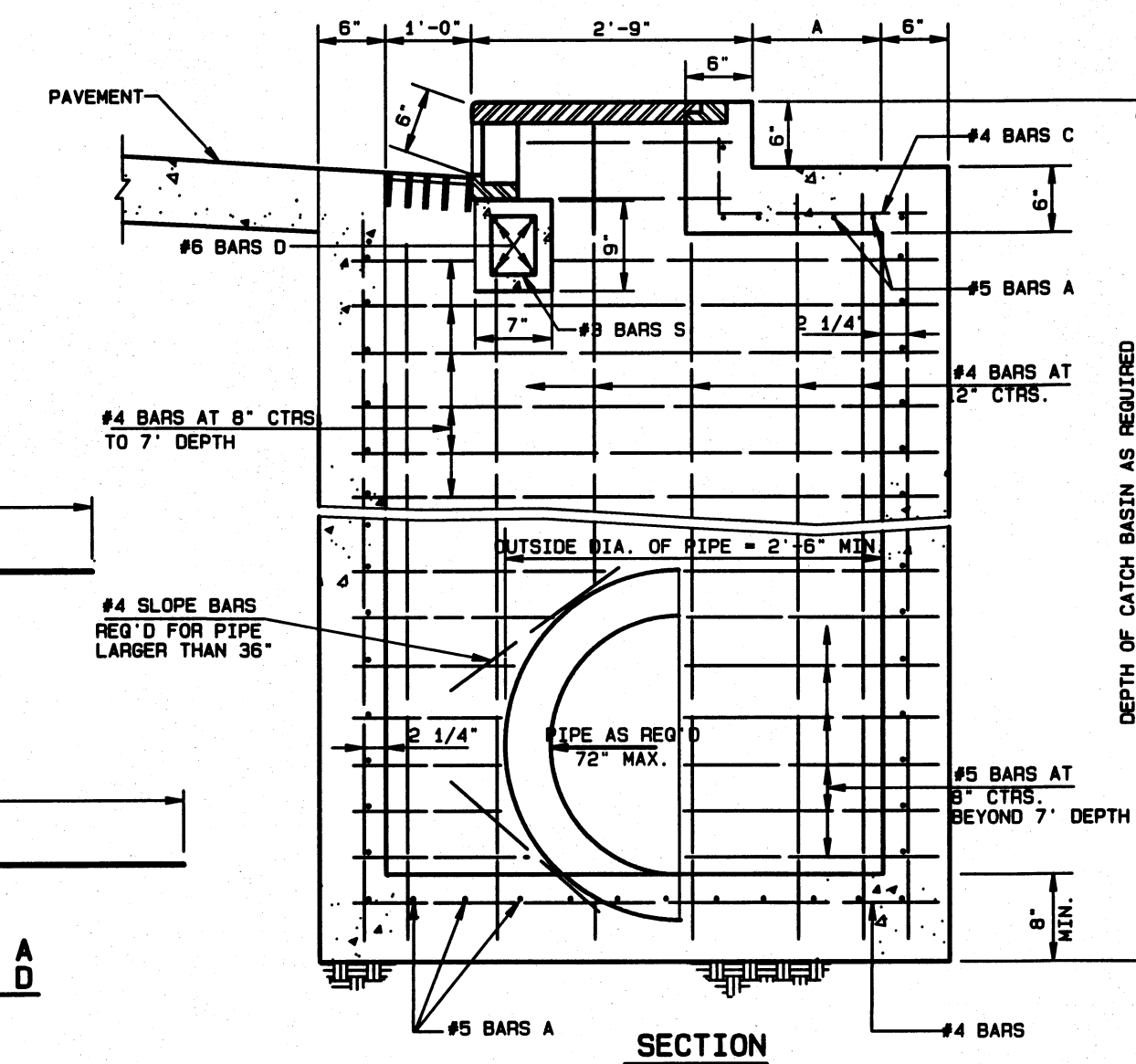


#3 BARS S



#4 BARS C

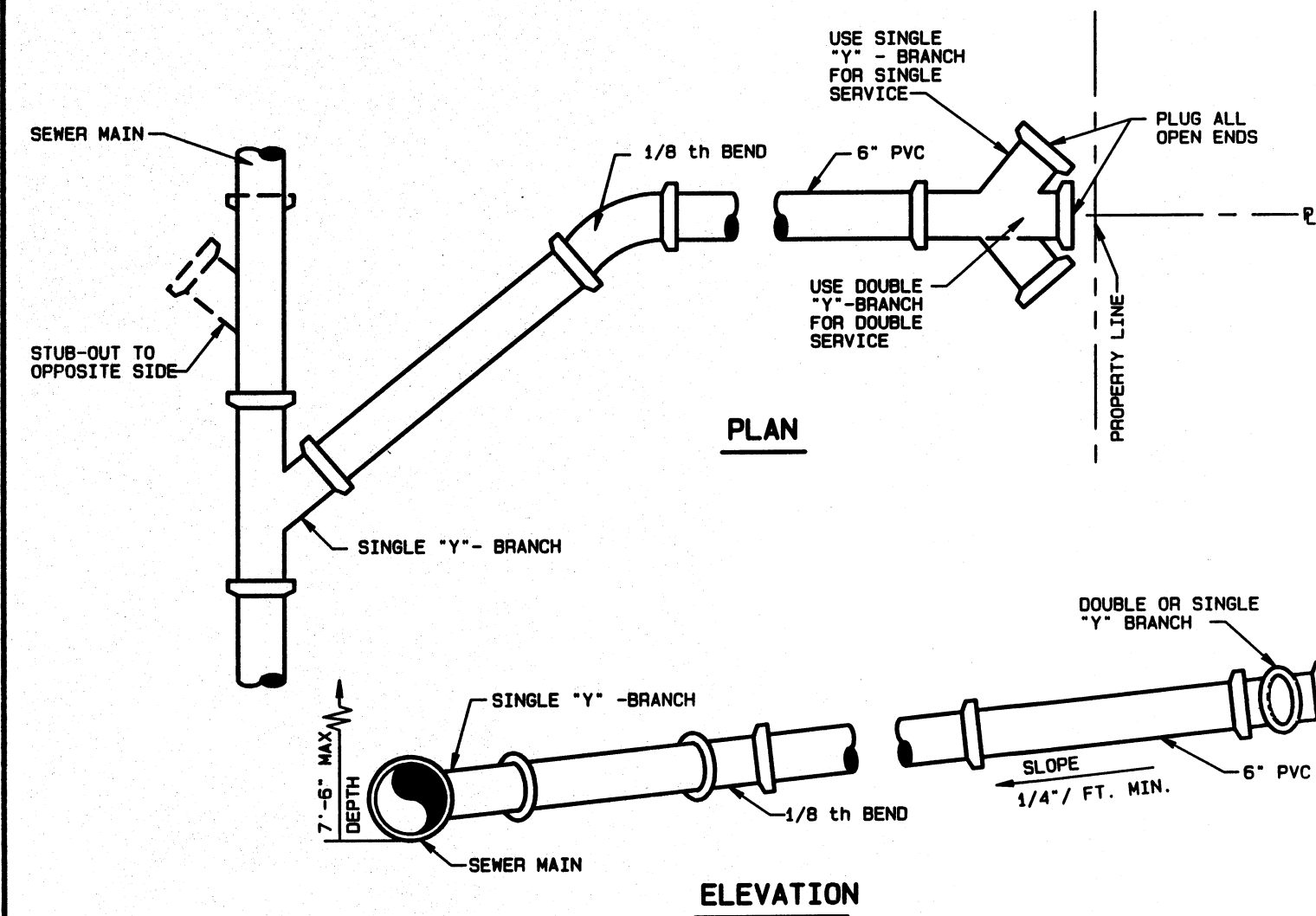
#5 BARS A
#6 BARS D



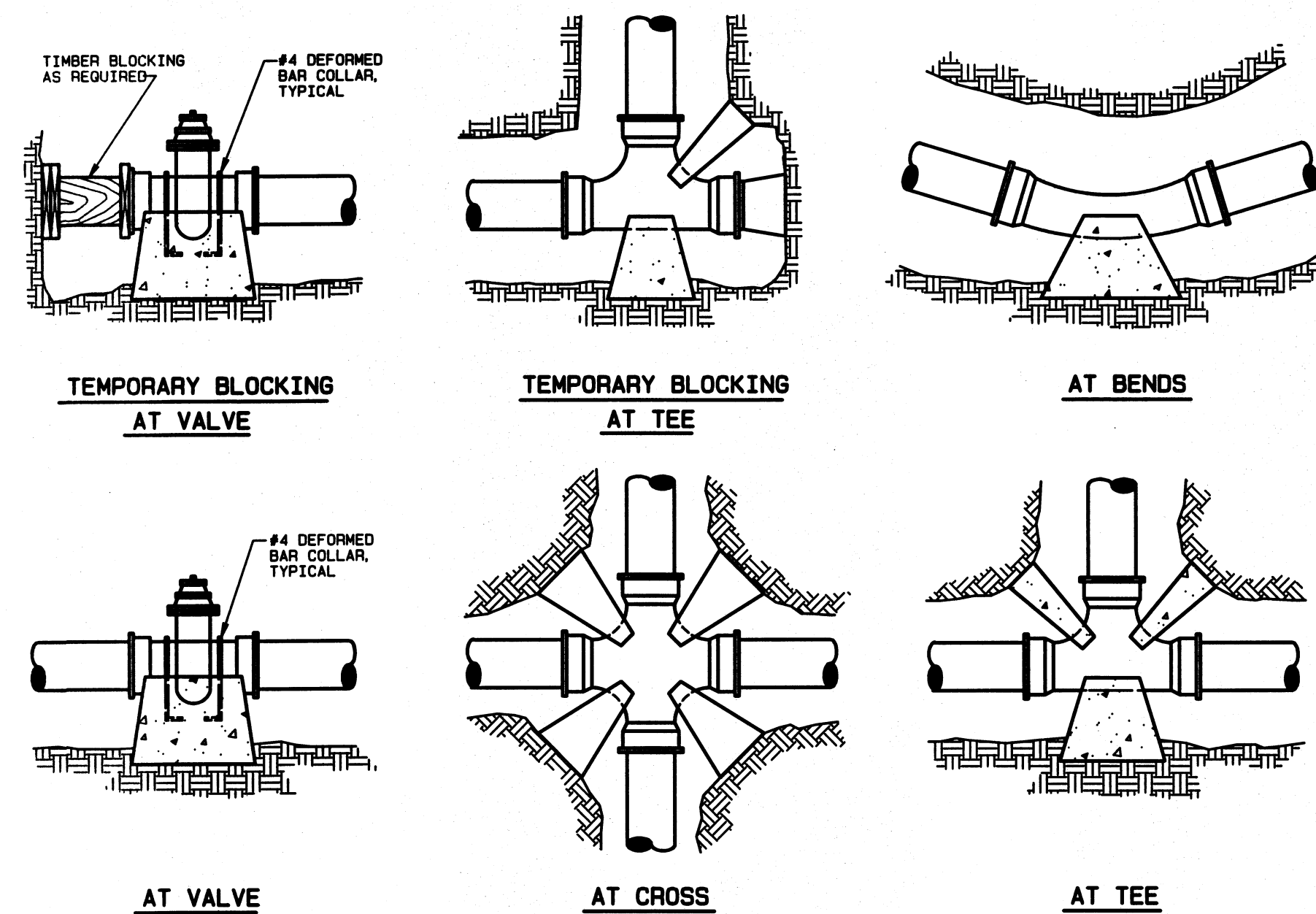
SECTION

SINGLE CURB INLET CATCH BASIN (CB-07)
DOUBLE CURB INLET CATCH BASIN (CB-08)

PIPE DIAMETER	ft.-in.
15"-24"	0'-4"
30"	0'-11"
36"	1'-6"
42"	2'-1"
48"	2'-8"
54"	3'-3"
60"	3'-10"
72"	5'-0"

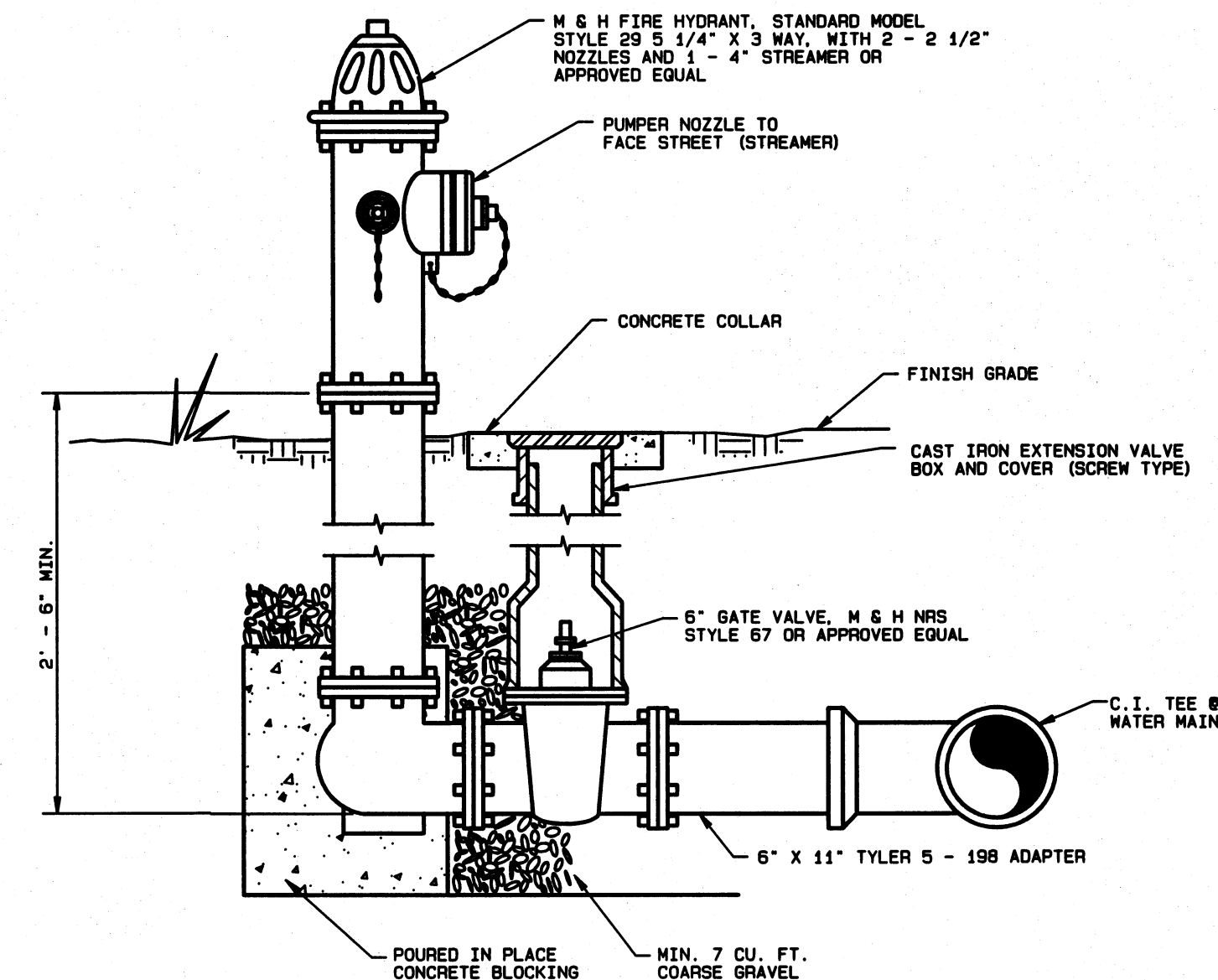


SEWER STUB-OUT ABOVE 7'-6"

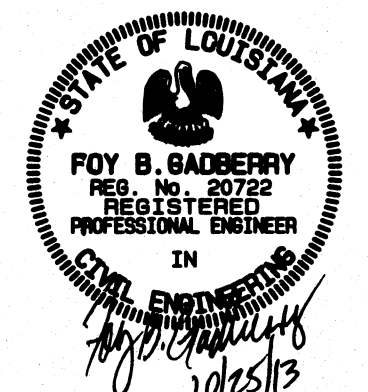


TYP. CONCRETE BLOCKING DETAILS

FOR WATER DISTRIBUTION SYSTEMS AND FORCE MAINS



TYP. FIRE HYDRANT INSTALLATION



SITE DETAILS

DATE
9-12-13

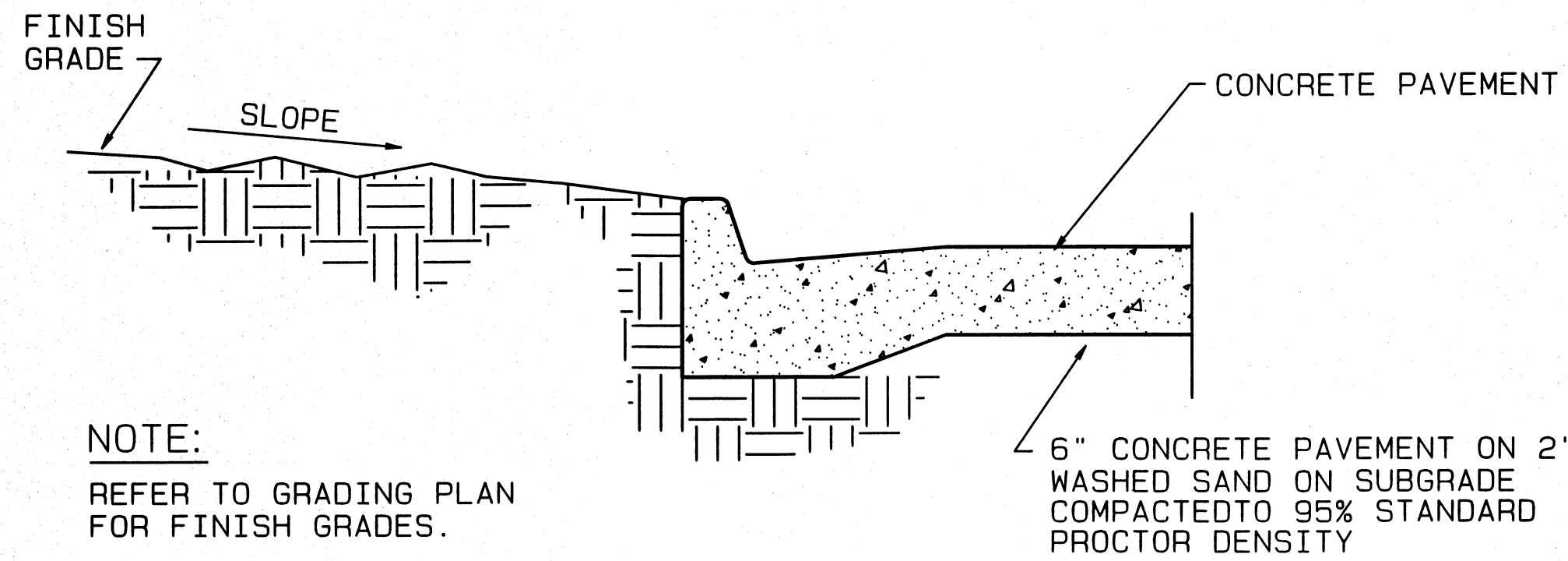
C006

JOB No 130412

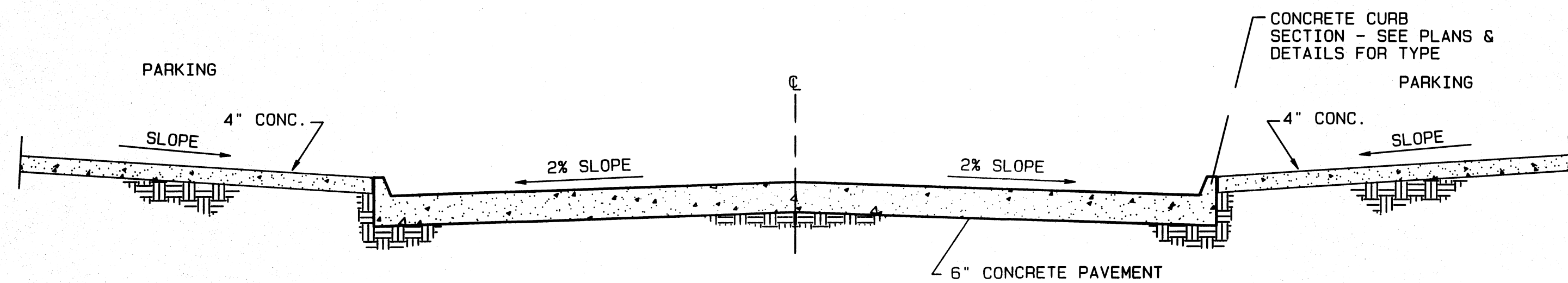
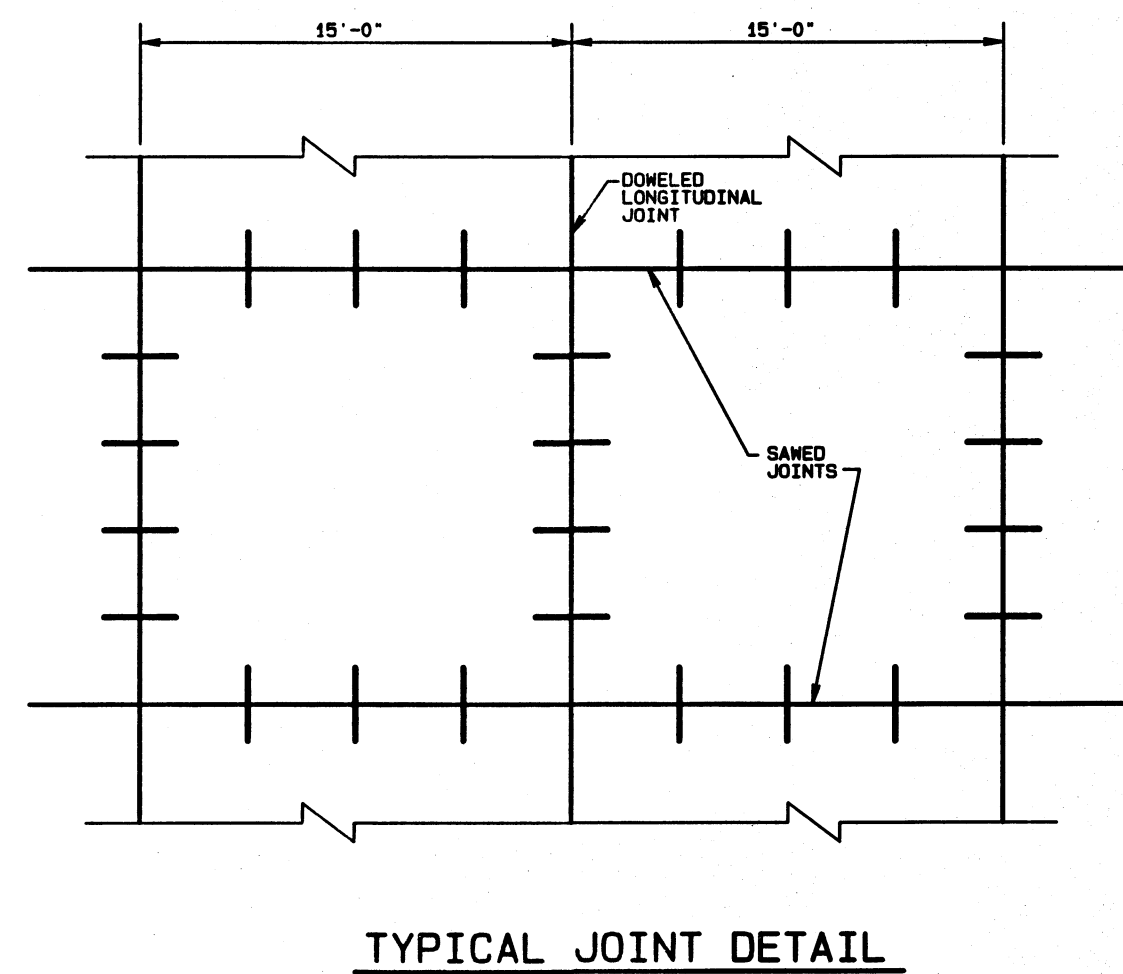
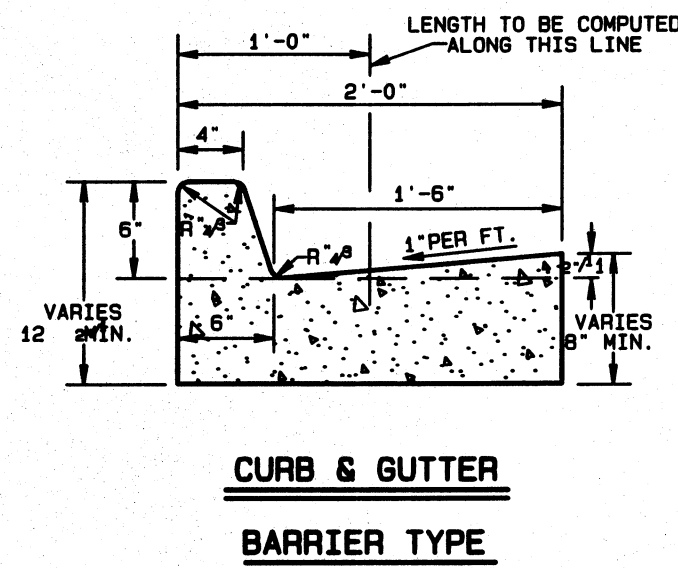
MONROE, LA. DAVID LANE BEAIRD & ASSOCIATES, INC.

SOUTHERN HOSPITALITY SERVICES
HAMPTON INN & SUITES

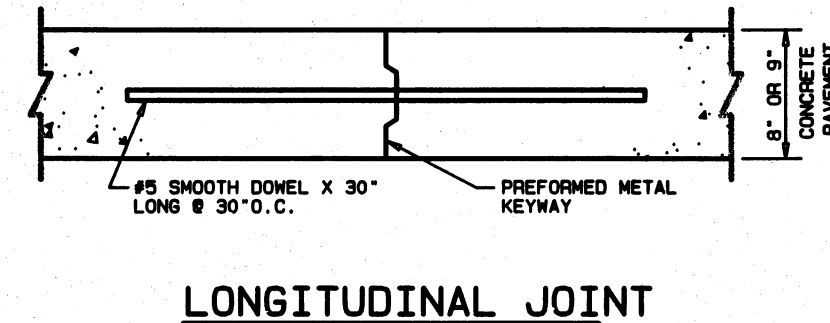
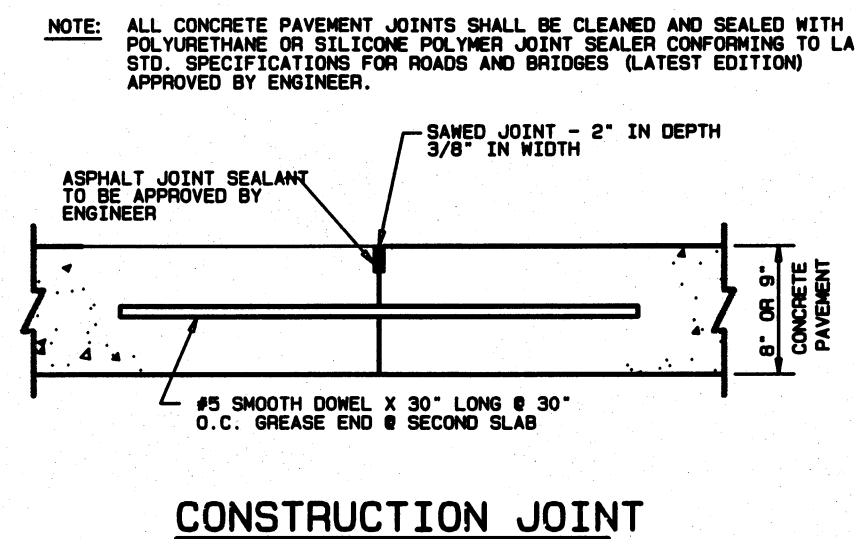
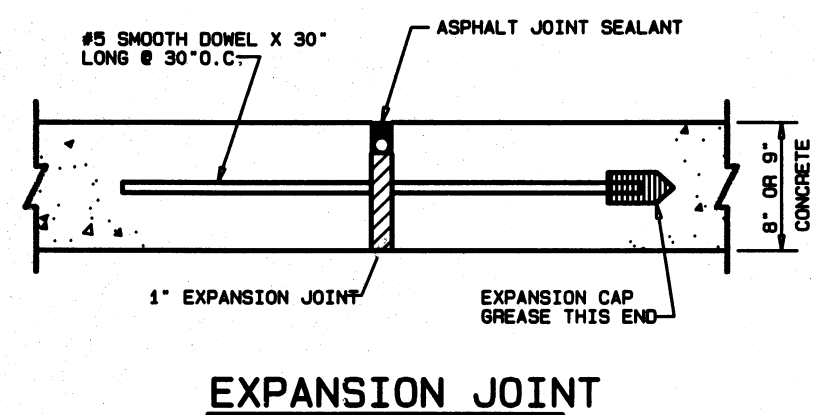
CIVIL & STRUCTURAL ENGINEERS PLANNING PROJECT MANAGEMENT
105 COMMERCIAL PARKWAY SUITE 100 MONROE, LA 70131 (504) 388-3227
www.davidlanebeaird.com



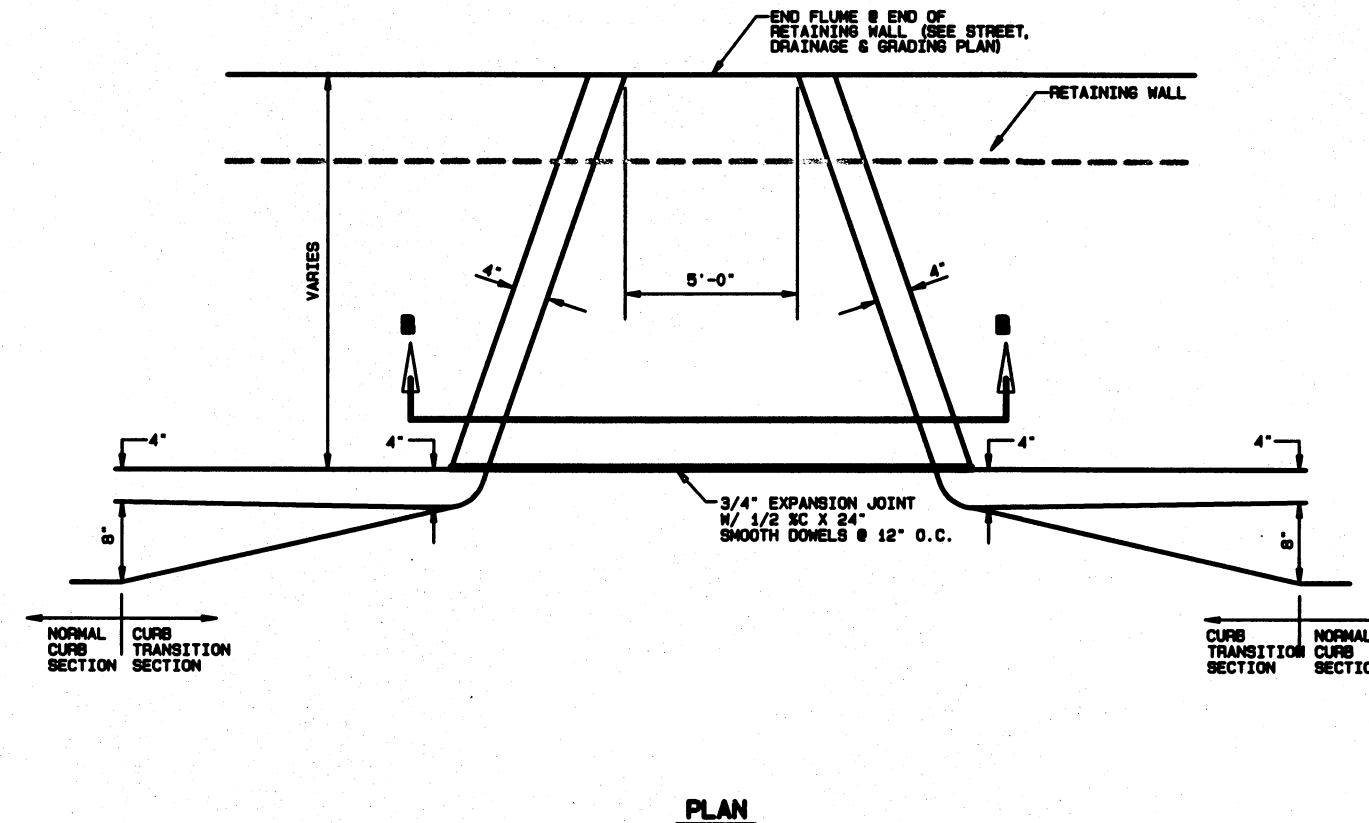
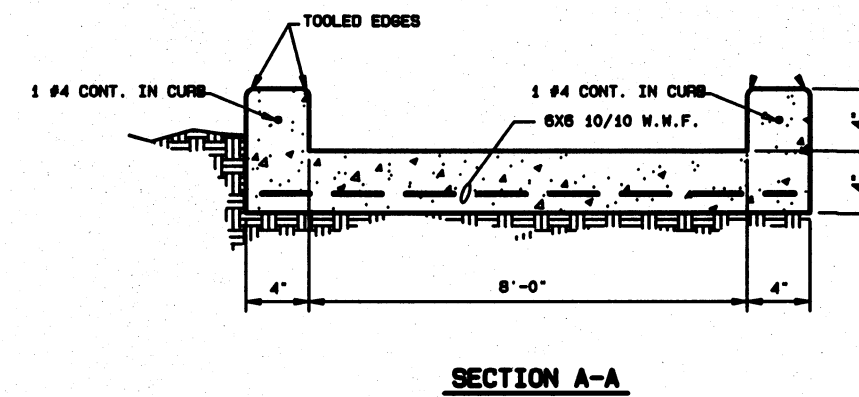
TYPICAL PAVEMENT SECTION
NO SCALE



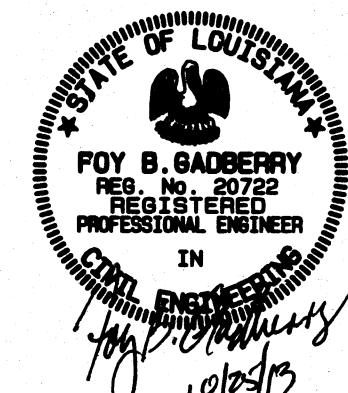
**TYPICAL CONCRETE CURB
DRIVE CROSS-SECTION**
NO SCALE



TYPICAL CONCRETE PAVEMENT JOINTS



- NOTES:**
1. All concrete for curb and gutter sections, drainage structures and miscellaneous construction shall attain a minimum ultimate compressive strenght of 3,000 psi @ 28 days.
 2. All reinforcing bars shall be new billet intermediate grade deformed bars conforming to A.S.T.M. A-615.
 3. Concrete aggregate shall conform to A.S.T.M. C-33.
 4. No concrete shall be placed without prior approval of Engineer.
 5. All drainage culvert to be reinforced concrete pipe, Class 111 with flexible watertight gaskets, conforming to A.S.T.M. C-76. (See specs: for alternates)
 6. For concrete curb and gutter sections, Contractor shall place tooled dummy joints at a maximum spacing of 10'-0" o.c. with expansion joints at a maximum spacing of 60'-0" o.c. Expansion joints shall be 3/4" redwood thru the full concrete section. Provide a minimum of two (2) - 1/2" dia. smooth dowels x 24" long at each expansion joint. An expansion cap shall be provided at one (1) end of each expansion dowel to prevent bonding. All concrete curb and gutter sections shall be reinforced with 2 - #4 deformed bars continuous between expansion joints as detailed on the Plans. In lieu of conventional forms, slip-formed construction may be utilized provided that the concrete has a minimum ultimate compressive strength of 4,000 psi @ 28 days. Continuous reinforcement is not required if slip-forming is used.



SITE DETAILS

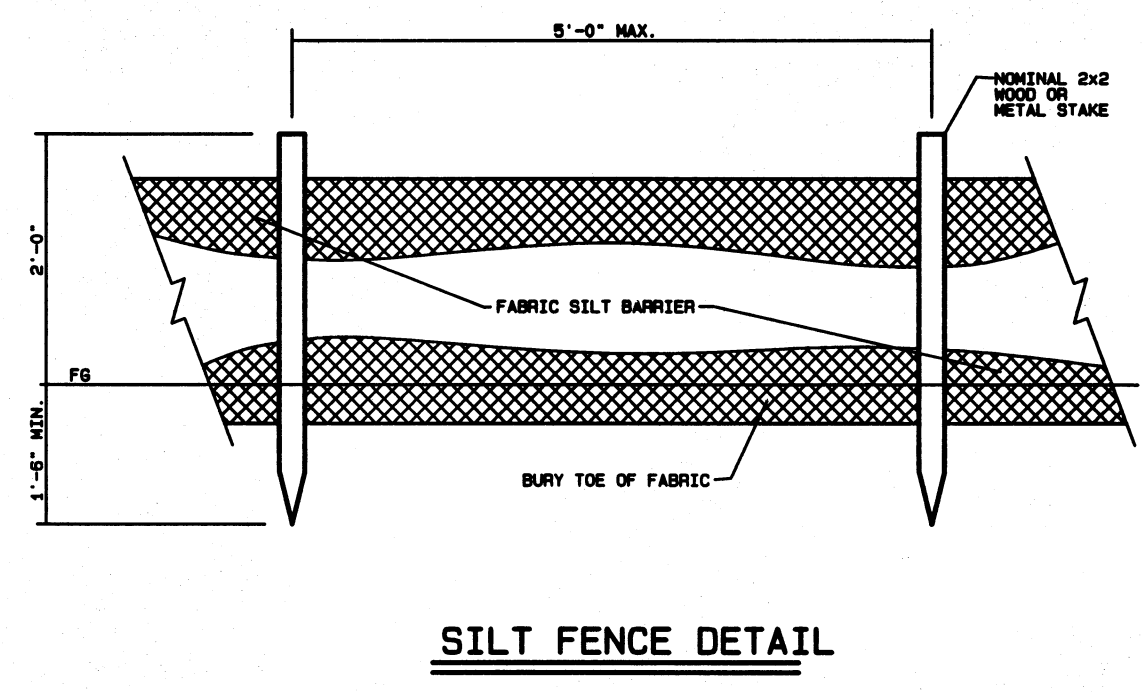
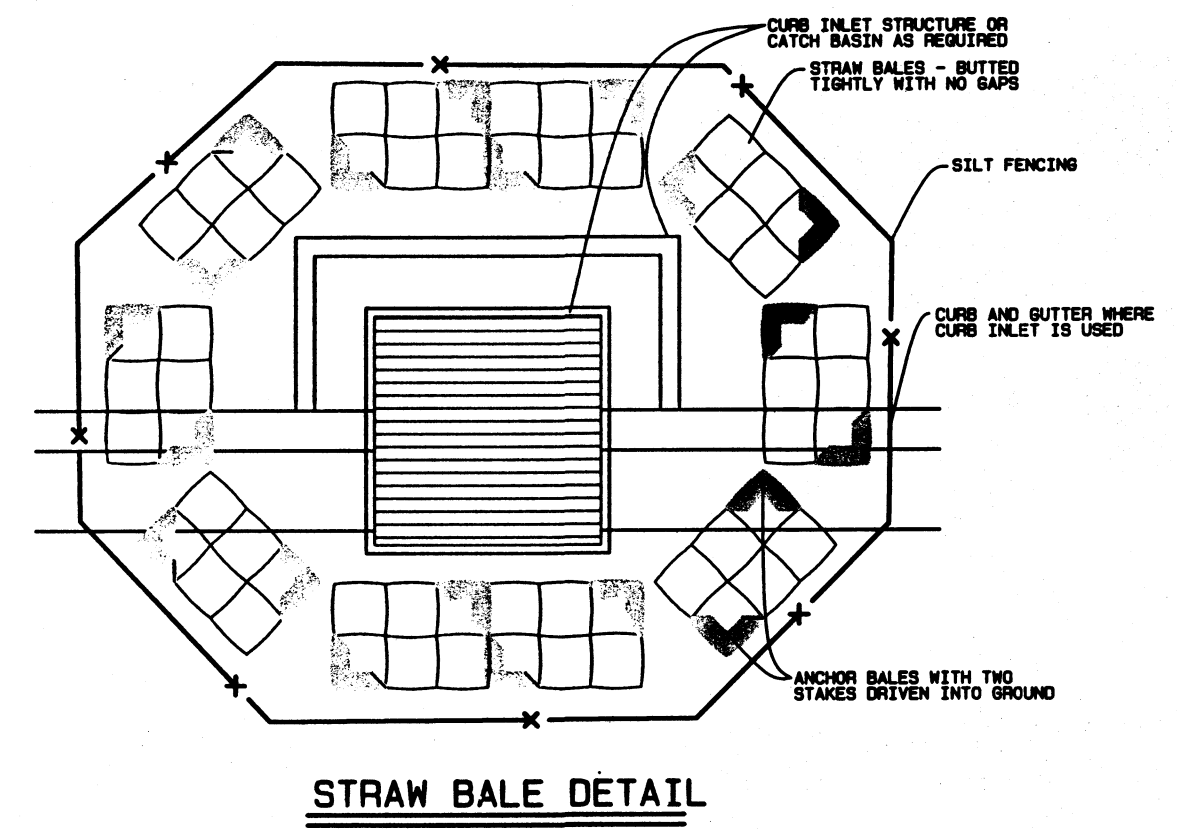
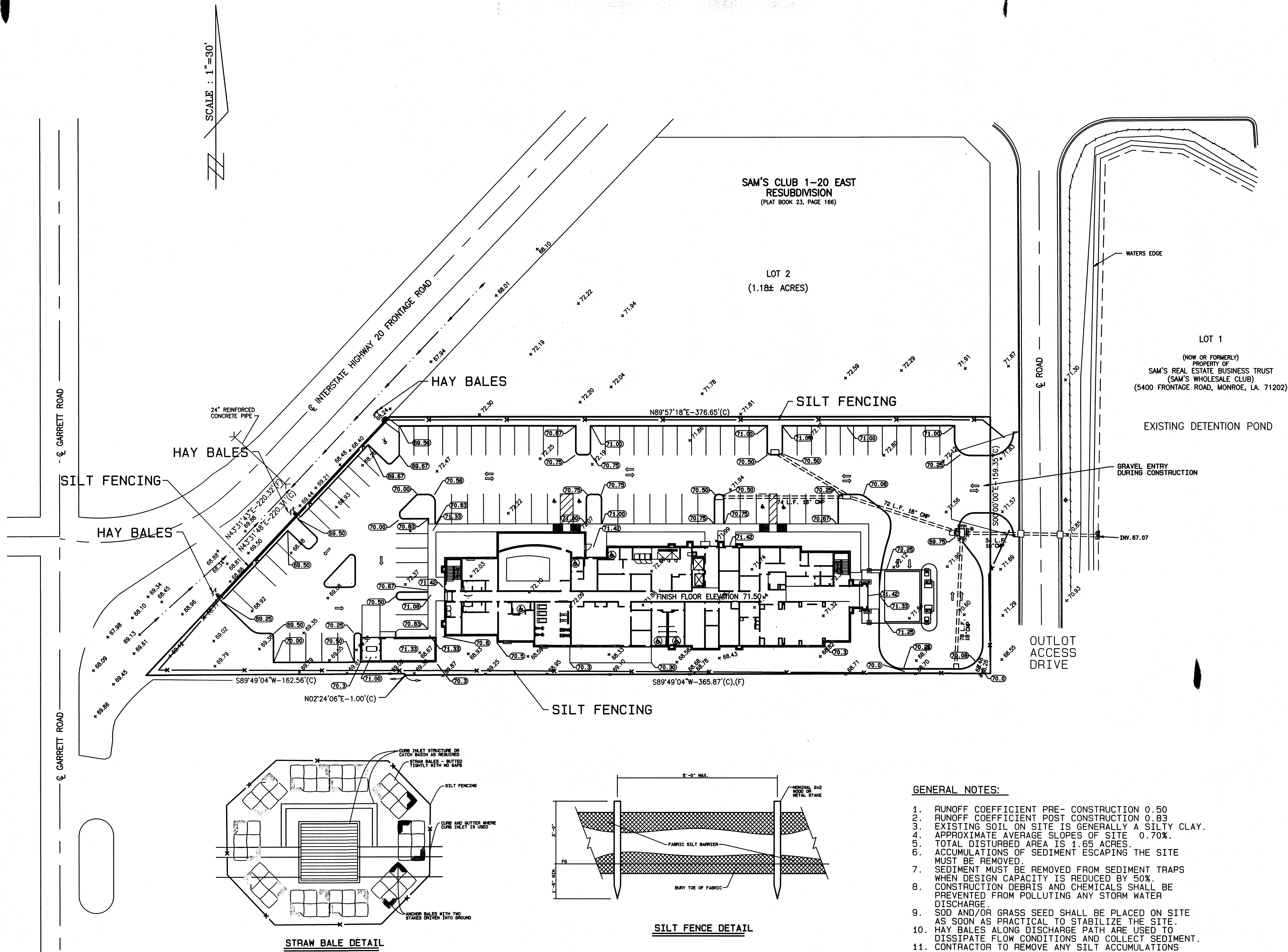
DATE
9-12-13

C007

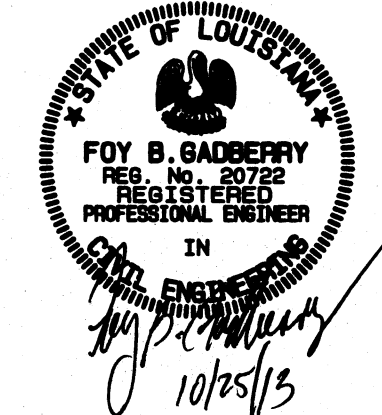
JOB No 130412

SOUTHERN HOSPITALITY SERVICES
MONROE, LA.
DAVID LANE BEARD
& ASSOCIATES, INC
PROJECT MANAGEMENT
CIVIL & STRUCTURAL ENGINEERS PLANNING
105 COMMERCIAL PARKWAY, WEST MONROE, LOUISIANA 71291 (318) 386-3227
email: dbeard@dlawebear.com

HAMPTON INN & SUITES



- GENERAL NOTES:**
1. RUNOFF COEFFICIENT PRE- CONSTRUCTION 0.50
 2. RUNOFF COEFFICIENT POST CONSTRUCTION 0.83
 3. EXISTING SOIL ON SITE IS GENERALLY A SILTY CLAY.
 4. APPROXIMATE AVERAGE SLOPES OF SITE 0.70%.
 5. TOTAL DISTURBED AREA IS 1.65 ACRES.
 6. ACCUMULATIONS OF SEDIMENT ESCAPING THE SITE MUST BE REMOVED.
 7. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS WHEN DESIGN CAPACITY IS REDUCED BY 50%.
 8. CONSTRUCTION DEBRIS AND CHEMICALS SHALL BE PREVENTED FROM POLLUTING ANY STORM WATER DISCHARGE.
 9. SOD AND/OR GRASS SEED SHALL BE PLACED ON SITE AS SOON AS PRACTICAL TO STABILIZE THE SITE.
 10. HAY BALES ALONG DISCHARGE PATH ARE USED TO DISSIPATE FLOW CONDITIONS AND COLLECT SEDIMENT.
 11. CONTRACTOR TO REMOVE ANY SILT ACCUMULATIONS ALONG DRAINAGE OUTFALL PATH AFTER RAINFALL (S).



STORMWATER POLLUTION
PREVENTION PLAN

DATE
9-12-13

C008

JOB No 130412

MONROE, LA. SOUTHERN HOSPITALITY SERVICES

HAMPTON INN & SUITES

DAVID LANE BEAIRD
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